



Dreamers Ridge Building Design Guidelines

Adopted by the
**Dreamers Ridge
Architectural Control Committee**

May 2, 2019

Looking West From Dreamers Ridge

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1. Authority

1.1 Dreamer's Ridge CCRs. These Building Design Guidelines ("Guidelines") have been established pursuant to the authority provided by the Amended and Restated Declaration of Covenants, Conditions, Restrictions and Easements for Dreamers Ridge Subdivision and The Shores on Plum Creek Metropolitan District No. 10 ("CCRs"). The CCRs provide requirements and architectural building design guidelines for development of a Lot within Dreamer's Ridge. These Guidelines should be used in conjunction with the CCRs. These Guidelines are intended to be administered by the Dreamer's Ridge Architectural Control Committee ("ACC") unless otherwise determined by the Board and/or the Declarant. These Guidelines provide building design application processing information through the ACC to



obtain approval prior to construction. If there is a conflict between the CCRs and these Guidelines, the CCRs shall control. If there is a conflict between these Guidelines and/or the CCRs with the Frederick Municipal Code, then the Code shall control.

2. Location

2.1 Vicinity Map. A vicinity map of the location of the Dreamer's Ridge subdivision is shown as Figure 1. Dreamer's Ridge can be accessed by Godding Hollow Parkway as shown on Figure 1. Godding Hollow Parkway is approximately two miles north of SH 52 or three miles south of SH 119. Dreamer's Ridge is approximately 1.75 miles west of SH 1-25.

3. Definitions

3.1 Definition of Terms. The definition of unique terms used in these Guidelines are shown below or are as defined herein. Terms used in these Guidelines that have already been defined in the CCRs are shown beginning with a capital letter and the definition is as stated in Section 1 of the CCRs.

3.1.1 Application means an application to the ACC for plans that involve any vertical or horizontal construction upon the Lot by the Owner or the Owner's representatives.

3.3.2 ACC Review Request Form means the form provided by the ACC at the pre-application meeting noted below.

3.3.3 Site Plan means the plan submitted to the ACC for review, prior to any type of construction upon the LOT.

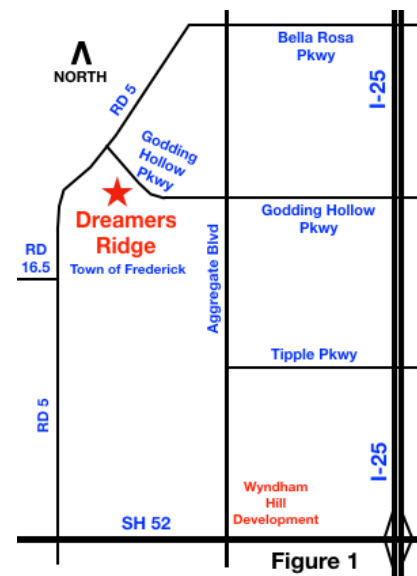


Figure 1

4. Application and Amendments

4.1 Application. These Guidelines set forth clarification and additional guidelines to the CCRs as to what types of Buildings, Ancillary Buildings and other construction that will be permitted within Dreamers Ridge.

4.2 Amendments. Minor modifications to these Guidelines can be made by the ACC. Major changes need to have the concurrence of the Board and the Declarant. Any amendments made to the CCRs shall be incorporated into these Guidelines by the ACC.

5. Buildings and Construction Within Dreamer's Ridge

5.1 Intent. Dreamer's Ridge is planned to be a quiet, peaceful, tranquil, residential community comprised of high-quality Single-Family residential Buildings that have "4-sided" architecture and exude an architectural refinement and sophistication in keeping with similar upper mid-range to higher range priced neighborhoods. Site planning and development of Buildings and other construction within Dreamers Ridge seeks to create a residential development that will blend comfortably into a landscape of overall surrounding lower density residential and agricultural land uses. The preferred architectural form is predominantly horizontal with varied roof lines. The character of the Buildings and other construction can vary, provided the form complements the terrain and location as stated and characterized by these Guidelines. A simple quick understanding of the general type of Building architecture that will be permitted in Dreamer's Ridge is represented in the typical Building elevations shown in the photograph to the left and shown in typical Building elevations shown in Exhibit A.



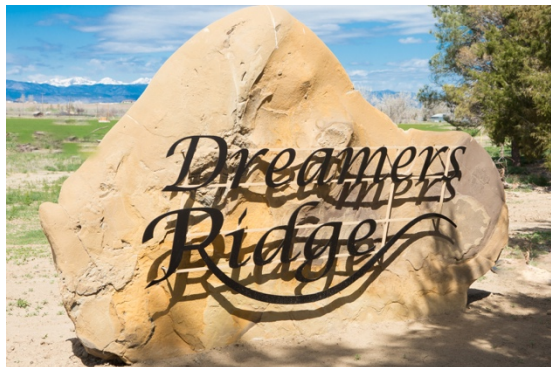
5.2 Building Size. As stated in the CCRs, single story residences shall have a minimum of 2,500 Square feet of finished living area above-grade on the main level. Multi-story residences shall have a minimum of 3,000 Square feet of finished living area above grade. See section 3.5 of the CCRs for maximum size information for residences. For variances to this information, see Section 3.20 of the CCRs.

5.3 Building Location Within the Lot. All Buildings shall be constructed within the building envelopes shown in Exhibit B. As described in section 3.21 of the CCRs, "building envelope" means that portion of each Lot that is designated by the Declarant for the construction of the main Dwelling Units, which designations shall be in compliance with all applicable building codes. Ancillary Building Units may be built outside the building envelope with the approval of the ACC and the Town. Only landscaping, driveways, sidewalks, pools boundary walls, and Ancillary Building Units are permitted on a Lot in the area outside of the building envelope for a Lot. No portion of a building envelope may be located within any minimum required setback established by the Town or the Project Documents. The building

envelope may be modified by the ACC, in its sole discretion, to accommodate any approved plans and specification if it so determines. Provided however, that such modification is consistent with the Project Documents and the Town Code.

6. Architecture

6.1 Building Design Styles and Themes. The ACC shall encourage architectural design incorporating the use of natural or natural-appearing materials, varied rooflines, with earth tone colors that complement the surrounding homes and general landscape. Other styles may be considered on a case-by-case basis by the ACC.



6.2 Ancillary Buildings. All Ancillary buildings are subject to prior approval of the ACC and must be of the same general style and appearance of the same quality as the main Building. No metal buildings are permitted.

6.3 Elevations. All building shall have “4-sided” architectural finished exteriors of a type and material approved by the ACC. 4-sided architecture means there must be a stucco, stone, cultured stone, or brick elements on all four sides of the Building (or a significant covered porch). Preferred exterior materials are stucco, stone, rock, cultured stone, brick and some wood or cement-based siding. All such material must receive written approval by the ACC. Ancillary Buildings shall be similar in style and match the exterior (including roofing) materials of the main dwelling. The following list includes additional architectural requirements that the ACC will consider in reviewing a Building design:

- Two story walls of siding must have added elements to “break up” the monotony of the plane. For example, minimum of eight roof planes per building in order to add articulation.
- Except for a small percentage, the exterior color treatment for all Buildings and Ancillary Buildings shall be near-neutral hues (excluding glass treatment), unless otherwise approved by the ACC because of the unique architectural design of the home.
- All homes shall have a minimum of 25% of each elevation (with the area of the garage also included in this calculation) comprised of stucco, stone, rock, cultured stone or brick.
- No unbroken wall planes greater than one story are permitted.
- Second story walls should be smaller portion of the entire elevation.
- Dormers or protruding hip roofs are preferred for second stories to allow the roof form to dominate the second story elevation. This requirement is in an effort to preventing excessive unbroken expanses of roof surfaces.
- Two story sections should be set back so that the main roof form breaks the vertical wall. Houses with unbroken two-story walls are not permitted.

6.4 Porches and Decks. Covered porches are encouraged on any elevation of the Building. There is no general limitation on size, however, both covered porches and decks need to be proportional to the entire plan view of the Building.

6.5 Roof Design and Materials. The goal is to have a higher texture to the surface than just a simple two-layer asphalt shingles. For roof design, the following standards shall control unless otherwise approved by the ACC:

- Eighty percent of all eaves shall protrude from the exterior wall (not including the width of any gutter) no less than twenty-four inches. This minimum overhang shall apply to all roofs, irrespective of pitch.
- A roof pitch shall be not less than 6:12 (six inches of rise to twelve inches of horizontal travel).



In order to maintain uniformity in Dreamer's Ridge, the roofing shingle are Presidential Shake TL as shown in Exhibit C (or equal as may be approved by the ACC).

6.6 Post, Bollard or other Exterior Lighting. Post bollard, or other exterior light may be permitted, provided it meets the spirit and intent of keeping the Dreamer's Ridge neighborhood quiet and tranquil. Such lighting shall be of a low voltage LED design and such lighting does not significantly drift onto adjoining Lots.

6.7 Basements. Basements or partial basements are not required or prohibited.

6.8 Window Wells. If a basement is added to the Building any window wells attached to the Building shall not extend into any easement and shall be covered with a metal safety grate.

6.9 Fencing. Fencing is only permitted within the building envelope area in the side and rear yards only. Like roofing shingles, consistent fencing is important to architecturally unite the Dreamer's Ridge community. Therefore, the preferred fencing is shown in Exhibit D. Either two rail or semi privacy 5-foot tall "Whitney Sand" colored vinyl fencing is permitted (from Custom Fence company) unless an equal is approved by the ACC. Note the transition detail should be used if both type of fencing are used and connect.

Fencing should generally be located from the main building to the Common Lot Line and then along the rear line of the Building Envelope. Only the semi-privacy fence is permitted along Common Lot Lines. However, either type fence is permitted along the rear Building Envelopes. Smaller areas may be fenced within the Building Envelope if done, to where such fencing is logically located so it does not to have a haphazard or cluttered appearance. For example, rail fencing may be used along the rear Building Envelopes, but smaller interior privacy fence may be located around swimming pools hot tubs or unique areas near a back

porch or deck or unique areas around an Ancillary Building. No fencing is permitted outside of the Building Envelope except between the building envelope and the Common Lot Line.



Columns made of neutral colored rock, brick or stone may be permitted along the Common Lot Line and rear Building Envelope, provided they are approved by the ACC, and are of such a nature not to visually clash with other natural rock, stone or brick used by an adjoining Lot owner. The ACC may determine, to identify a specific rock, stone or brick to be used for any and all fence columns located along a fence, on the Common Lot Line or along a rear Building Envelope. Columns, if permitted, shall have maximum height is 5-feet six-inches.

7. Restrictions

7.1 CCR Restrictions. See Section 3 Restrictions of the CCRs for specific restrictions.

8. Submittals to the ACC

8.1 Submittal Requirements and Processing. The Owner shall submit similar submittal requirements as those final documents that are submitted to the Town prior to the issuance of a building permit. Typically, such documents include, but are not limited by the ACC, if additional information is required:

8.1.1 Land Use Table that provides, if applicable, the details of the Building or Ancillary Building (including total square footage) compared to the total Lot square footage and the Building Envelope square footage.

8.1.2 Site Plan that shows all proposed site development features, including topographic contours at a scale no smaller than 1-inch = 30-feet, unless otherwise approved by the ACC.

8.1.3 Landscape Plan that shows all proposed landscaping, including a plant list that identifies size, genus and species of all plant material. Also, provide seed mixes for turf both within and outside the Building Envelope. The landscape plan should also include an irrigation plan, possibly as a separate sheet.

8.1.4 Fencing Plan that shows the location of all planned fencing associated with the Application.

8.1.5 Building Elevations that shows the specific images for all four elevation, the material used and colors for each. All exterior attached lighting shall be shown.

8.1.6 Site Details for all elements of the Application, including type, size, color and material used.

8.1.7 Materials Board or photos that provide information on all Building, Ancillary Buildings and other vertical and horizontal elements shown on the Site Plan.

8.2 Review Criteria. The ACC will adhere to the following criteria when reviewing an Application:

8.2.1 The Application is consistent not only with the specific requirements of the CCRs and these Guidelines, but also, the content of the Application needs meet the spirit and intent of these documents.

8.3 Variances. The ACC reserves the right to modify and grant a variance from the specific requirements of the CCRs or these Guidelines to an Application in order to resolve issues that may arise in the interpretation and the application of the CCRs and these Guidelines. Provided however, that in no case shall such variance be granted if such variance is in conflict with the spirit and intent of the CCRs and these Guidelines.

8.4 Approval. Once the Application has been modified (if necessary) and is deemed to be consistent with the CCRs and these Guidelines by the ACC, then a written letter of approval shall be issued to the Owner by the ACC.



The Owner may process their Application(s) through the Town prior to processing them through the ACC. However, the Application needs to be found to be consistent with the CCRs and these Guidelines, which could require an amendment to the already Town approved documents. Thus, it might be most effective to process the Application through the ACC prior to processing any necessary final documents through the Town.

8.5 Compliance. Once an Application has been approved by the ACC. The Owner shall maintain (an replace if necessary) ACC approved improvements to the Lot in good condition. Failure to do so in a timely and ongoing basis may result in fines or other actions available to the ACC pursuant to Section 8.18.2 of the CCRs.

Exhibit A –
Examples of Typical Building Elevations
Found on Homeplans.com



Exhibit A (continued)

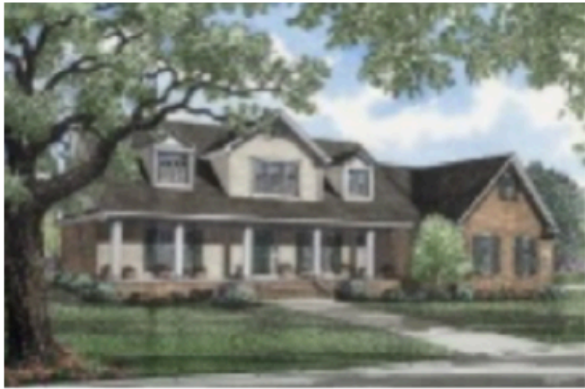


Exhibit B
Building Envelopes



Exhibit C Roofing Details

PRESIDENTIAL SHAKE® TL SHINGLES



CHARCOAL BLACK

The luxury shingles with the look of cedar shakes and the performance of one of the finest composition roofing solutions in the industry. Presidential Shake TL gives your home the distinct look of a hand-split wood shake roof with the durability and performance that leaves wood in the sawdust. You get sculpted edges, staggered lines, and triple layer depth, for an amazing ground level effect that will last and last. The photo above features Presidential Shake TL in Charcoal Black; other color options are showcased below.

PRESIDENTIAL SHAKE® TL SHINGLES



SPANISH TILE

PRESIDENTIAL SHAKE® TL SHINGLES



SHADOW GRAY

PRESIDENTIAL SHAKE® TL SHINGLES



AUTUMN BLEND

PRESIDENTIAL SHAKE® TL SHINGLES



PLATINUM

PRESIDENTIAL SHAKE® TL SHINGLES



WEATHERED WOOD

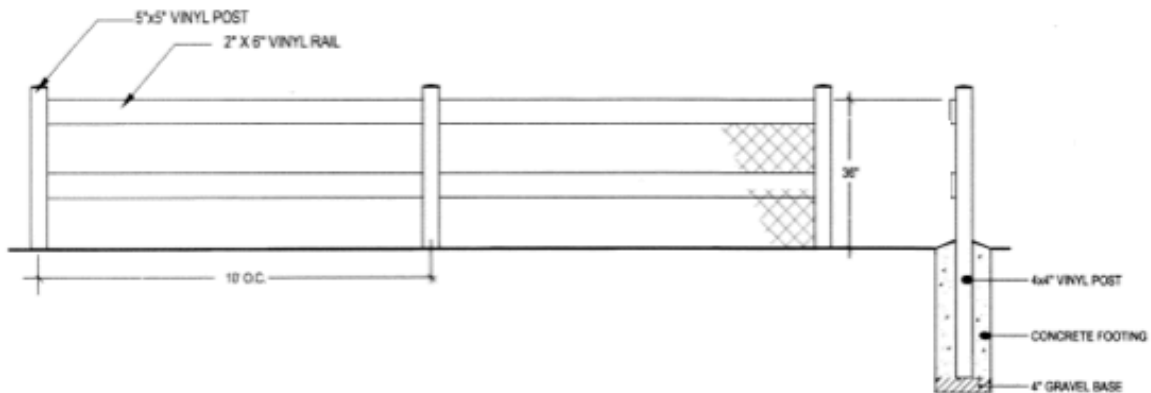
TECHNICAL INFORMATION

- Three-piece laminated fiber glass construction
- 480 lbs. per square
- UL Class A fire resistance rating
- UL certified to meet ASTM D3462
- UL certified to meet ASTM D3018 Type I
- ASTM D3161, Class F, 110 mph wind resistance
- Conforms to CSA standard A123.5

Exhibit D Fencing Details

2 RAIL VINYL FENCE DETAIL

N.T.S.



5' HEIGHT PRIVACY FENCE DETAIL WITH TRANSITION DETAIL

N.T.S.

